



DEVELOPMENT PERMIT NO. DP001182

BETHEL LANDS CORPORATION LTD
Name of Owner(s) of Land (Permittee)

380 COTTLE PLACE
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

LOT 8, SECTION 15A, WELLINGTON DISTRICT, VIP83210

PID No. 027-092-313

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Location Plan
Schedule B Site Plans
Schedule C Cross Sections
Schedule D Ridgeline View
Schedule E Building Elevations
Schedule F Building Material Finishes
Schedule G Landscape Plans and Details

- a) If the applicant does not substantially commence the development permitted by this permit within two years of the date of this permit, the permit shall lapse.
4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

TERMS OF PERMIT

The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:

1. *Section 7.6.1 – Size of Buildings* – to increase the maximum allowable building height as follows:

Single Units:

Unit Number	Maximum Allowable Height	Proposed Height	Proposed Height Variance
1	7m	7.7m	0.7m
2	7m	7.8m	0.8m
3	7m	7.5m	0.5m
4, 6	7m	7.6m	0.6m
5	7m	7.1m	0.1m
7	7m	8.4m	1.4m
8	7m	7.9m	0.9m

Townhouse Units:

Unit Number	Maximum Allowable Height	Proposed Height	Proposed Height Variance
1, 2, 6, 7, 8, 9	7m	8.7m	1.7m
3,4,5	7m	9.5m	2.5m
10,11	7m	8.4m	1.4m
12,13,14	7m	8.8m	1.8m
15,16	7m	7.3m	0.3m

2. *Section 7.6.6 – Size of Buildings* – to increase the maximum perimeter wall height as follows:

Single Unit:

Unit Number	Maximum Allowable Height	Proposed Height	Proposed Height Variance
6	7.32m	8.3m	0.98m

Townhouse Units:

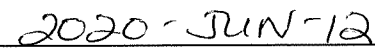
Unit Number	Maximum Allowable Height	Proposed Height	Proposed Height Variance
1	7.32m	8.96m	1.64m
2	7.32m	8.29m	0.97m
3	7.32m	8.96m	1.64m
9	7.32m	7.89m	0.57m
14	7.32m	7.46m	0.14m

CONDITIONS OF PERMIT

1. The subject property is developed generally in accordance with the Site Plans prepared by Hillel Architecture received 2020-APR-02 as shown on Schedule B.
2. The development is in accordance with the Cross Sections and Ridgeline View prepared by Hillel Architecture received 2020-APR-02 as shown on Schedules C and D.
3. The development is in accordance with the Building Elevations prepared by Hillel Architecture received 2020-APR-02 as shown on Schedule E.
4. The development is generally in accordance with the Building Material Finishes prepared by Hillel Architecture received 2020-APR-02 as shown on Schedule F.
5. The development is in general compliance with the Landscape Plans and Details prepared by MacDonald Gray received 2020-APR-02 as shown on Schedule G.
6. The subject property is developed and maintained in accordance with the recommendations contained in the Bioinventory Assessment prepared by Toth and Associates Environmental Services dated July 2017; and, the Preservation Areas plan received from Modev Construction Ltd. on 2020-APR-02.

AUTHORIZING RESOLUTION PASSED BY COUNCIL
THE 1ST DAY OF JUNE, 2020.


Corporate Officer


Date

LB/ln

Prospero DP001182

Development Permit DP001182 Schedule A
380 Cottle Place

LOCATION PLAN



DEVELOPMENT PERMIT NO. DP001182

CIVIC: 380 COTTLE PLACE

LEGAL: LOT 8, SECTION 15A, WELLINGTON DISTRICT, VIP83210



Subject Property

Development Permit DP001182 Schedule B
380 Cottle Place
SITE PLANS





1 Partial Site and Grading Plan - North
A1.2

380 COTTLE PLACE

Development Permit Application

The ridgeline of Cottle Place, 380 Cottle Place, Nanaimo, British Columbia

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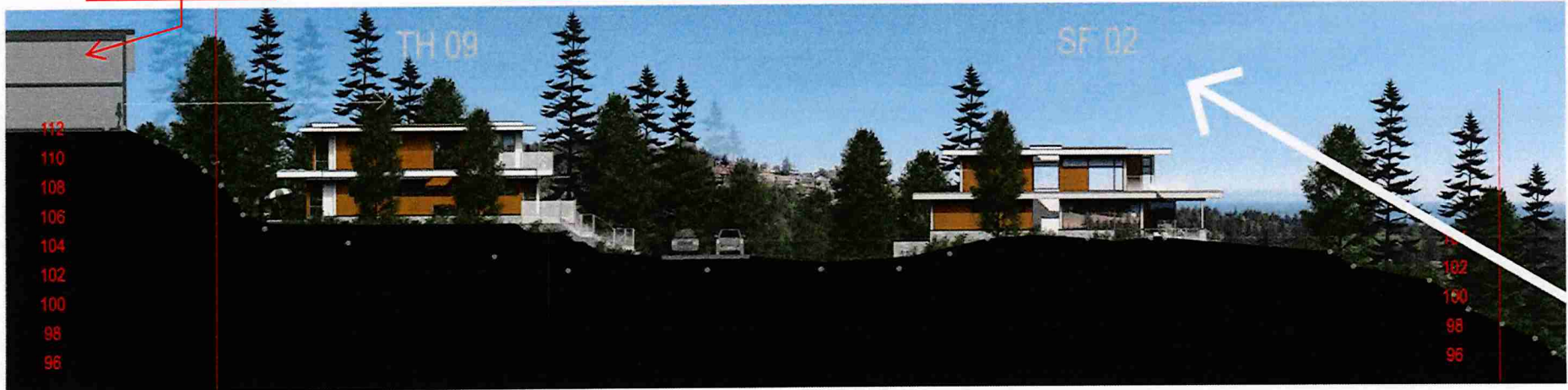
Development Permit Application
September 21, 2017
Project Revision
Response to City of
Nanaimo Review
February 1 2018
380 Cottle Place
Site and Grading Plan 1
A1.2

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2020-APR-02
CURRENT PLANNING



360 Cottle Place

CROSS SECTIONS



1 Project Section / Location 1: North Road
A1.4 not to scale

350 Cottle Place



2 Project Section / Location 2: South Road
A1.4 not to scale

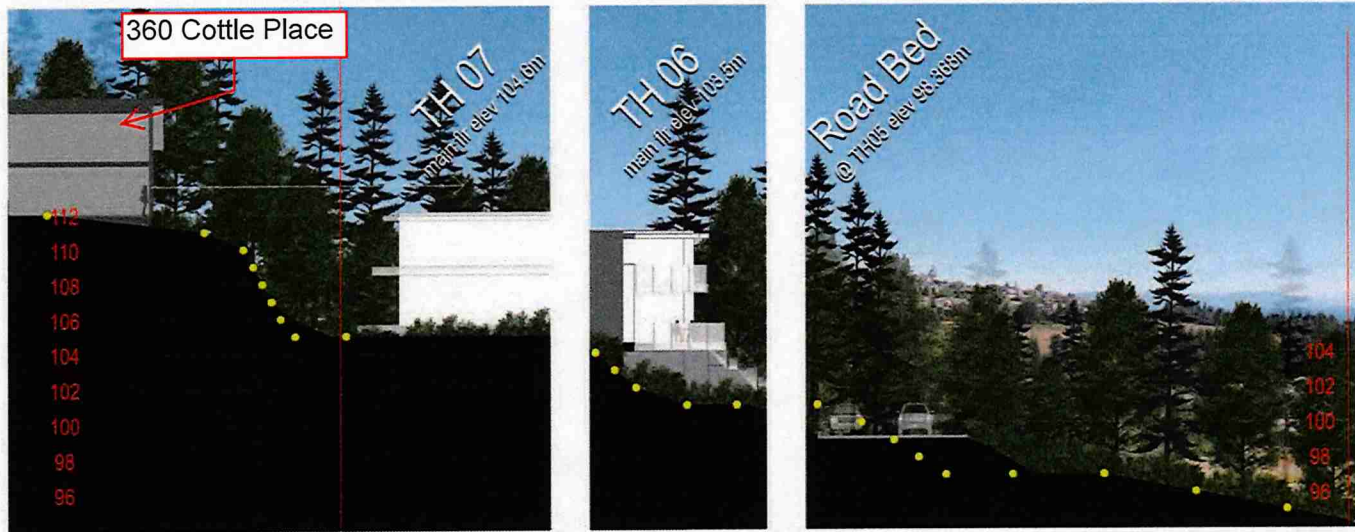
380 COTTLE PLACE
Development Permit Application
The ridgeline of Cottle Place, 380 Cottle Place, Nanaimo, British Columbia

mōdev
250 100 1016, nanaimo@mo.dev

Hillel
ARCHITECTS INC.

Development Permit Application September 21, 2017 Project Revision Response to ADP December 7th, 2017
380 Cottle Place 380 Cottle Place, Nanaimo, British Columbia
Project Sections
A1.4

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1 Project Section / TH07 & TH 06
A1.5 not to scale



2 Project Section / Approximate Cut Section at TH07 & TH06
A1.5 not to scale

Studio Explains
100-101-102-103-104-105-106-107-108-109-110-111-112

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moderators

380 COTTLE PLACE

Development Permit Application

The ridgeline of Cottle Place, 380 Cottle Place, Nanaimo, British Columbia

Development Permit Application September 21, 2017 Explanatory Section February 7th, 2018	
380 Cottle Place 380 Cottle Place, Nanaimo, British Columbia	
Project Sections	
A1.5	A1.5

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RIDGELINE VIEW



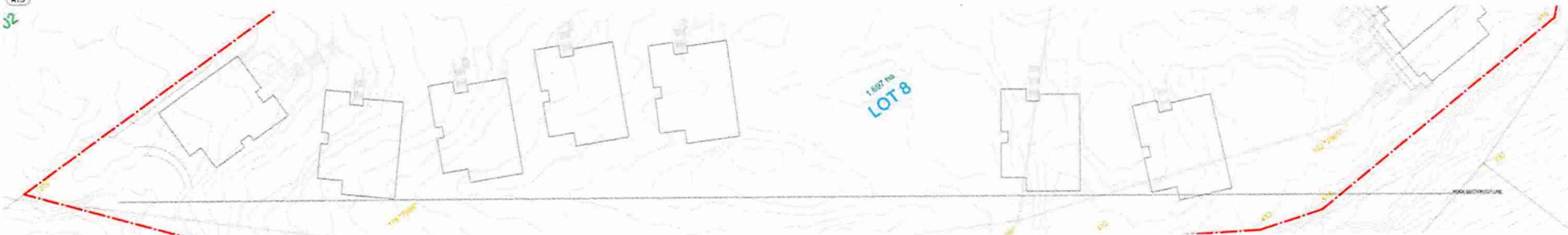
1 Hillside Aerial View
not to scale

2 Hillside Aerial View
not to scale



View of Single Detached Units stepped back from the Ridgeline.

3 Orthographic Project Elevation
not to scale



4 Ridge Site Plan
not to scale

380 COTTLE PLACE

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The ridgeline of Cottle Place, 380 Cottle Place, Nanaimo, British Columbia

David Truitt
720 722 1111 | david@modev.com
modev
moderica



Development Permit Application
September 21, 2017

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Development Permit Application
380 Cottle Place, Nanaimo, British Columbia

Hillside Aerial Views
Project Elevation + Ridge Site Plan

Scale: 1:1000
Drawing No: A1.5

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BUILDING ELEVATIONS



Front

1 TH 01&02: Front, Side and Rear Elevation:
A3.2
PHOTO SCALE: 1:150



Rear



Proposed Height
Variances within Shaded
(red) Area



Front

2 TH 03,04 & 05: Front, Side and Rear Elevations:
A3.2
PHOTO SCALE: 1:150



Rear



Front

3 TH 06 & 07: Front, Side and Rear Elevations:
A3.2
PHOTO SCALE: 1:150



Rear



380 COTTLE PLACE
Development Permit Application
The ridgeline of Cottle Place, 380 Cottle Place, Nanaimo, British Columbia

modev

Hillel
ARCHITECTS

Development Permit Application
September 21, 2017
Project Revision
Response to City of
Nanaimo Review
February 1st, 2018

380 Cottle Place
380 Cottle Place, Nanaimo, British Columbia

Townhouse Bldg Elevations
c/w Site Profiles

A3.2

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TOWNHOUSES



1 TH 08 & 09: Front, Side and Rear Ele Front
A3.3 metric scale: 1:100



Rear



2 TH 10 & 11: Front, Side and Rear Elev Front
A3.3 metric scale: 1:100



Rear



Front



Rear



3 TH 12, 13 & 14: Front, Side and Rear Elevations
A3.3 metric scale: 1:100



Front



Rear



4 TH 15 & 16: Front, Side and Rear Elevations
A3.3 metric scale: 1:100



380 COTTLE PLACE

Development Permit Application

The ridgeline of Cottle Place, 380 Cottle Place, Nanaimo, British Columbia



Development Permit Application
September 21, 2017
Project Revision
Response to City of
Nanaimo Review
February 1st, 2018

380 Cottle Place
38 Cottle Place, Nanaimo, British Columbia
Townhouse Bldg Elevations
c/w Site Profiles

A3.3

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SINGLE FAMILY RESIDENTIAL UNITS



1 Single Family Home 01 Elevations Front
Metric Scale: 1:100
A3.5



Rear



Rear



2 Single Family Home 02 Elevations Front
Metric Scale: 1:100
A3.5



Rear



3 Single Family Home 03 Finishes Front
Metric Scale: 1:100
A3.5



Rear



4 Single Family Home 04 Finishes Front
Metric Scale: 1:100
A3.5



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Development Permit Application
September 21, 2017
Project Revision
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February 1, 2018

380 Cottle Place
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SF Building Elevations
c/w Site Profiles

A3.5

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SINGLE FAMILY RESIDENTIAL UNITS



Front

1 Single Family Home 05 Elevations
A3.6
Metric Scale: 1:100



Rear



Front

2 Single Family Home 06 Elevations
A3.6
Metric Scale: 1:100



Rear



Front

3 Single Family Home 07 Elevations
A3.6
Metric Scale: 1:100



Rear



Front

4 Single Family Home 08 Elevations
A3.6
Metric Scale: 1:100



Rear



380 COTTLE PLACE

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Development Permit Application
September 21, 2017

Project Revision
Response to City
SF Building Elevations
February 1, 2018

Project
380 Cottle Place
380 Cottle Place, Nanaimo, British Columbia

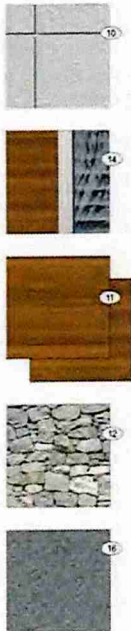
Project Title
SF Building Elevations
Site Profile

Scale
A3.6

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2020-APR-02
Current Planning

BUILDING MATERIAL FINISHES

Colour Scheme A

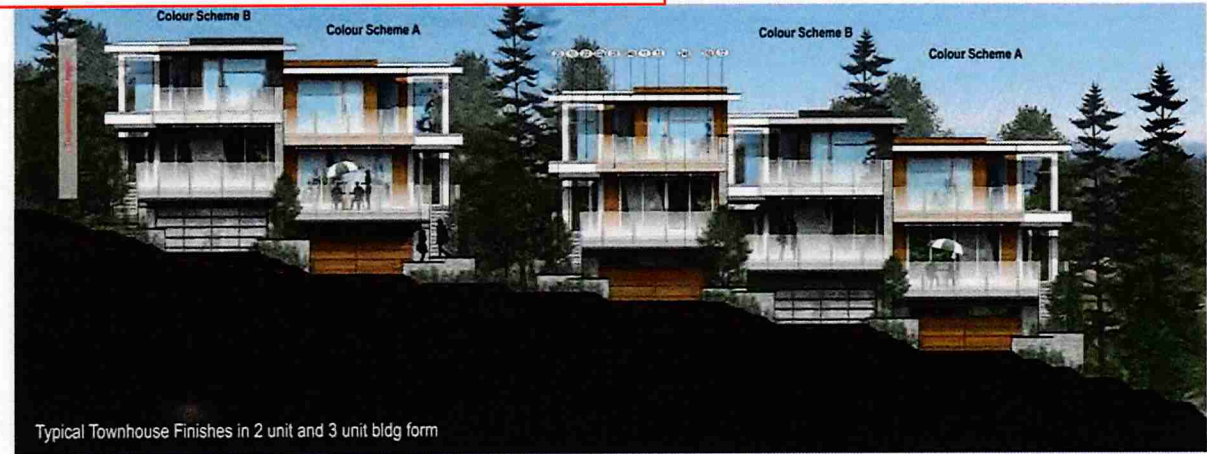
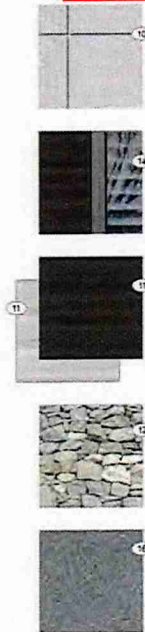


Exterior Finishes Legend

- List of Finishes (typical of all elevations)
- Roofing**
- (1) 3000 board-on-batt roofing membrane to all horizontal roof surfaces
 - (2) Pre-finished steel roofing. Colour matched to manufacturer's product when available. Colour coded with appropriate wind resistance label below
 - (3) Metallic grey
 - (4) White
 - (5) Dark
- Exterior Finishes & Components**
- (6) Paneling, smooth texture, prefinished metallic grey metal mesh. Semi-gloss finish.
 - (7) Shikara Cedar finished. Full T & G Crown Cedar using resistant sealer (100% oil, 100% water based, NPT, UV, white, surface).
 - (8) Redwood stone veneer. Extracts Natural Stone. Chisel Cut Pallet Grey
 - (9) Aluminum Cast. Smooth Stone
 - (10) Fiberglass. White
 - (11) Roofing system:
 - a) 3000 Maximum. gabled, boxed, 30mm x 100mm solar-ventilated panel system
 - b) 3000 Maximum. solar-ventilated aluminum panels and panel mounting hardware (100% solar-ventilated glass panels)
 - (12) Dark grey water-based paint finish to exposed masonry foundations
 - (13) Aluminum Panel
- Exterior Features**
- (14) Exterior exposed concrete (smooth, textured, paint finished)
 - (15) Exterior light fixture
 - (16) Aluminum framed awning
 - (17) Wood Deck
 - (18) Garage Door:
 - a) Painted
 - b) Wood panelled



Colour Scheme B



Typical Townhouse Finishes in 2 unit and 3 unit bldg form



2 Key Plan: Colour Scheme Locations
A3.1 The developer reserves the right to modify locations of the colour scheme, but the intent to vary colours remains the same.

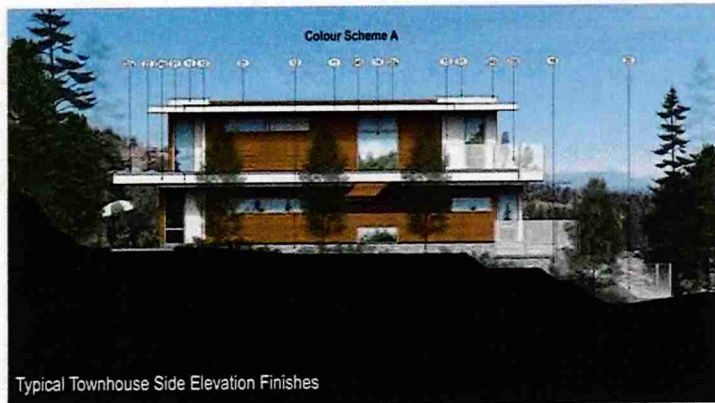
1 Typical Townhouse Finishes
A3.1 metric scale: 1:100

Typical Townhouse Elevation Treatment and finishes

Townhouses shown in typical two unit and three unit forms demonstrating elevation treatment and finishes.

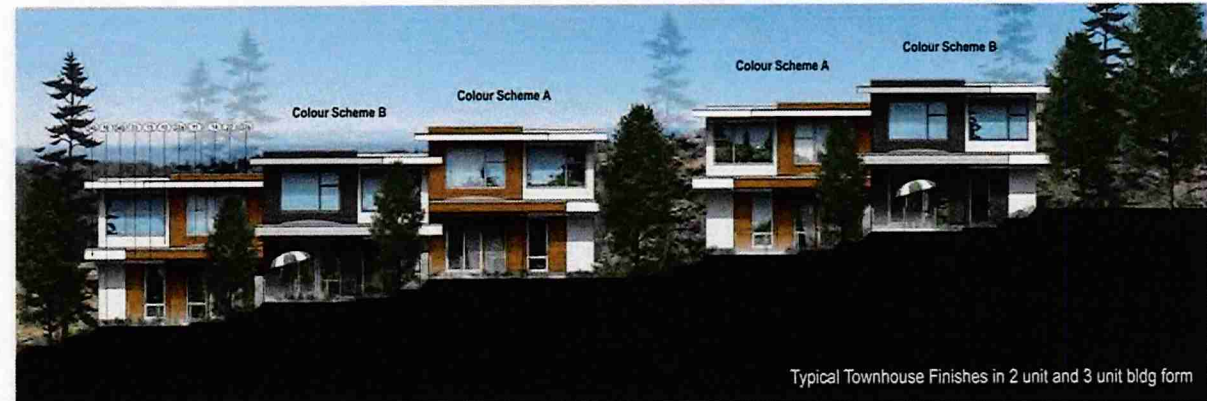
Townhouses are staggered both vertically and horizontally.

Roof projections are articulated within a unit therefore roof overhangs are both articulated and aid to minimize the roof profile and the appearance of height and massing.



Typical Townhouse Side Elevation Finishes

3 Typical Townhouse Side Elevation
A3.1 metric scale: 1:100



Typical Townhouse Finishes in 2 unit and 3 unit bldg form

4 Typical Townhouses Finishes
A3.1 metric scale: 1:100

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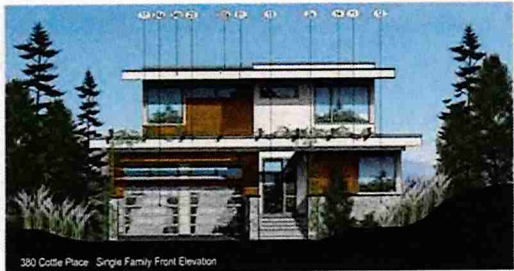
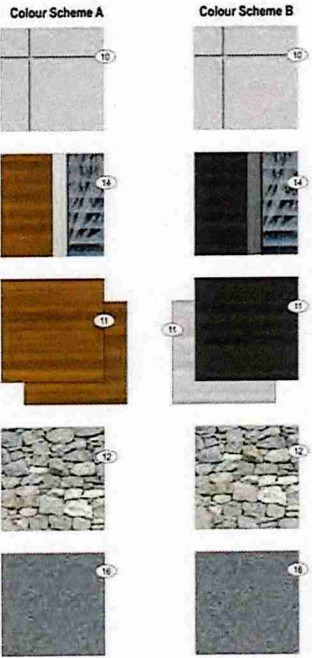
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September 21, 2017

380 Cottle Place
380 Cottle Place, Nanaimo, British Columbia

Project Colour Palette, Materials / Townhouse Design Elevations

A3.1

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2 Single Family Home Finishes
sheet scale: 1:150
A3.4



1 Single Family Home Finishes
sheet scale: 1:150
A3.4



4 Single Family Home Finishes
sheet scale: 1:150
A3.4



3 Single Family Home Finishes
sheet scale: 1:150
A3.4





380 COTTLE PLACE

Development Permit Application

The ridgeline of Cottle Place, 380 Cottle Place, Nanaimo, British Columbia



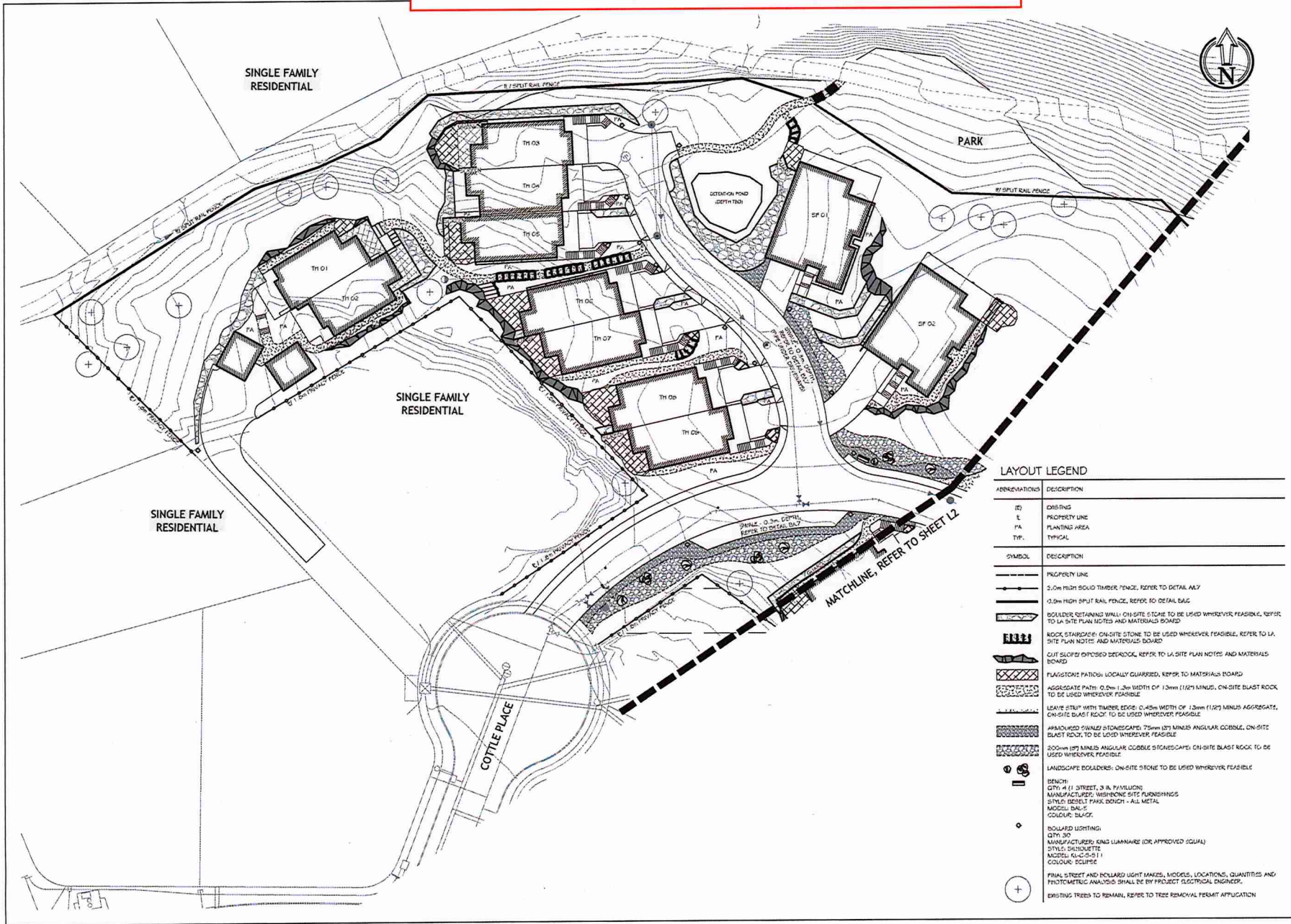
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380 Cottle Place, Nanaimo, British Columbia

Single Family Design Elevations
sheet scale: 1:150
A3.4

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LANDSCAPE PLANS AND DETAILS



LAYOUT LEGEND

ABBREVIATION	DESCRIPTION
EX	EXISTING
L	PROPERTY LINE
PA	PLANTING AREA
TP	TYPICAL
SYMBOL DESCRIPTION	
(Solid line)	PROPERTY LINE
(Dashed line)	3.0m HIGH SOLID TIMBER FENCE, REFER TO DETAIL A6.7
(Dotted line)	0.9m HIGH SPLIT RAIL FENCE, REFER TO DETAIL E4.6
(Hatched pattern)	BOULDER RETAINING WALL: ON-SITE STONE TO BE USED WHEREVER FEASIBLE, REFER TO LA SITE PLAN NOTES AND MATERIALS BOARD
(Hatched pattern)	ROCK STAIRS/DECK: ON-SITE STONE TO BE USED WHEREVER FEASIBLE, REFER TO LA SITE PLAN NOTES AND MATERIALS BOARD
(Hatched pattern)	CUT SLOPES EXPOSED BEDROCK, REFER TO LA SITE PLAN NOTES AND MATERIALS BOARD
(Hatched pattern)	FLAGSTONE PATIOL: LOCALLY QUARRIED, REFER TO MATERIALS BOARD
(Hatched pattern)	AGGREGATE PATH: 0.9m x 3m WIDTH OF 13mm (1/2") MINUS, ON-SITE BLAST ROCK TO BE USED WHEREVER FEASIBLE
(Hatched pattern)	LEAVE STRIP WITH TIMBER EDGE: 0.45m WIDTH OF 13mm (1/2") MINUS AGGREGATE, ON-SITE BLAST ROCK TO BE USED WHEREVER FEASIBLE
(Hatched pattern)	APPROVED PAVED STONECAPPED: 75mm (3") MINUS ANGULAR COBBLE, ON-SITE BLAST ROCK TO BE USED WHEREVER FEASIBLE
(Hatched pattern)	200mm (8") MINUS ANGULAR COBBLE STONES/CAPI: ON-SITE BLAST ROCK TO BE USED WHEREVER FEASIBLE
(Hatched pattern)	LANDSCAPE BOULDERS: ON-SITE STONE TO BE USED WHEREVER FEASIBLE
(Symbol)	BENCH: QTY: 4 (1 STREET, 3 IN PAVILION) MANUFACTURER: WISCONSIN SITE FURNISHINGS STYLE: DESELT PARK BENCH - ALL METAL MODEL: BAK-1 COLOUR: BLACK
(Symbol)	RECESSED LIGHTING: QTY: 30 MANUFACTURER: KING LUMINAIRE (OR APPROVED EQUAL) STYLE: SKENNETTE MODEL: KL-C-3-1 COLOUR: SQUARE
(Symbol)	FINAL STREET AND BOLLARD LIGHT MASTS, MODELS, LOCATIONS, QUANTITIES AND PHOTOMETRIC ANALYSIS SHALL BE BY PROJECT ELECTRICAL ENGINEER.
(Symbol)	EXISTING TREES TO REMAIN, REFER TO TREE REMOVAL PERMIT APPLICATION



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380 Cottle Place
Nanaimo, BC

LANDSCAPE ARCHITECTURE
SITE PLAN
Date: December 7, 2017
Drawn: GS
Checked: NS
Scale: 1:250 metric
Project Number: 17-0076
DRAWING NUMBER: L1 of 7

#	DATE	NOTES
0	24/06/2017	Pre-submission Review
1	28/07/2017	DP Submission
2	07/02/2017	DP Re-submission

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2020-APR-02
Current Planning



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LANDSCAPE ARCHITECTURE SITE PLAN NOTES

1. REFER TO SITE PLAN PREPARED BY HELLG ARCHITECTURE FOR SITE PLAN LAYOUT, PROPOSED FINISHED FLOOR ELEVATIONS, INDIVIDUAL UNIT ATTACHED STAIR DESIGN, SITE GRADING AND OTHER ARCHITECTURAL INFORMATION.
2. REFER TO CIVIL PLANS AND REPORT PREPARED BY NEWCASTLE ENGINEERING LTD. FOR ALL ROADWORK AND SITE SERVING INFORMATION.
3. REFER TO TREE REMOVAL AND REPLANTING REPORT PREPARED BY TOTH ENVIRONMENTAL SERVICES FOR TREE RETENTION AND REMOVAL INFORMATION.
4. AREA OF EXPOSED BRICKWORK IS APPROXIMATE BASED ON THE TOPOGRAPHICAL SURVEY AND PROPOSED FINISHED FLOOR ELEVATIONS PREPARED BY OTHERS.
5. THE PRECISE HEIGHT AND DESIGN OF ESOLDER RETAINING WALLS TO BE DETERMINED UPON COMPLETION OF BLASTING AND SITE EXCAVATION WORK. ALL RETAINING WALLS OVER 1.0m IN HEIGHT SHALL BE DESIGNED BY A STRUCTURAL ENGINEER.
6. THE PRECISE NUMBER AND LOCATION OF ROCK STAIRCASE RISERS IS TO BE DETERMINED IN THE FIELD UPON COMPLETION OF BLASTING AND SITE EXCAVATION WORK.

IRRIGATION NOTES

1. ALL NON VEGETATION PLANTING AREAS SHALL BE WATERED VIA AN UNDERGROUND IRRIGATION SYSTEM. THE IRRIGATION SYSTEM SHALL BE AUTOMATICALLY CONTROLLED WITH SAIAVAT XT EQUIPMENT AND SHALL OPERATE WITHIN THE CITY OF NANAIMO WATER RESTRICTION SCHEDULE.
2. THE IRRIGATION SYSTEM SHALL MEET OR EXCEED THE MOST CURRENT STANDARDS AND SPECIFICATIONS SET OUT BY THE IRRIGATION INDUSTRY ASSOCIATION OF BRITISH COLUMBIA (IIBC) AS REFERENCED IN THE MOST CURRENT EDITION OF THE BC LANDSCAPE STANDARDS.
3. IRRIGATION EMISSION DEVICES SHALL BE LOW VOLUME ROTARY NOZZLES OR MICRO DRIP EQUIPMENT.
4. THE PLACEMENT AND RADIUS OF SPINNIERS SHALL BE ADJUSTED AS REQUIRED BY FIELD CONDITIONS TO ACHIEVE FULL COVERAGE OF ALL PLANTED AREAS AND TO MINIMIZE OVER-SPRAY ONTO ADJACENT HARD SURFACES, FENCES AND PROPERTY LINES.
5. ALL PRINCIPAL LAYER PAVING SHALL BE INSTALLED IN SEPARATE SCHEDULES AND SLEEVES AT A MINIMUM DEPTH OF 600mm WITH 150mm OF SAND BEDDING ABOVE AND BELOW PIPE. ALL WIRING UNDER PAVING SHALL BE INSTALLED IN SEPARATE SCHEDULES AND SLEEVES. ALL SLEEVES AND CONDUIT SHALL BE INSTALLED PRIOR TO PAVEMENT INSTALLATION AND SHALL EXTEND 150mm BEYOND EDGES OF PAVEMENT OR CURB. BACKFILL FOR SLEEVES SHALL BE COMPACTED TO THE SPECIFIED DENSITY FOR THE SUBGRADE.
6. ESTABLISHMENT WATERING SHALL MEET OR EXCEED THE LATEST EDITION OF THE BC LANDSCAPE STANDARDS/BC SOCIETY OF LANDSCAPE ARCHITECTS/BC LANDSCAPE AND HURTSLEY ASSOCIATION.



380 Cottle Place
Mödev
Nanaimo, BC

LANDSCAPE ARCHITECTURE	
SITE PLAN	
Date:	December 7, 2017
Drawn:	CA
Checked:	MS
Scale:	1:250 metric
Project Number:	17-0176
DRAWING NUMBER:	L2 of 7

#	DATE	NOTES
0	25/06/2017	Pre-application Review
1	28/07/2017	SP Submission
2	07/09/2017	SP Re-submission

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2020-APR-02
Current Planning

PLANTING PLAN - EAST



macdonald gray
114 Steward Drive, Parkville, BC V9P 8T1
TEL: 250-241-2087
WWW.MACDONALDGRAY.COM

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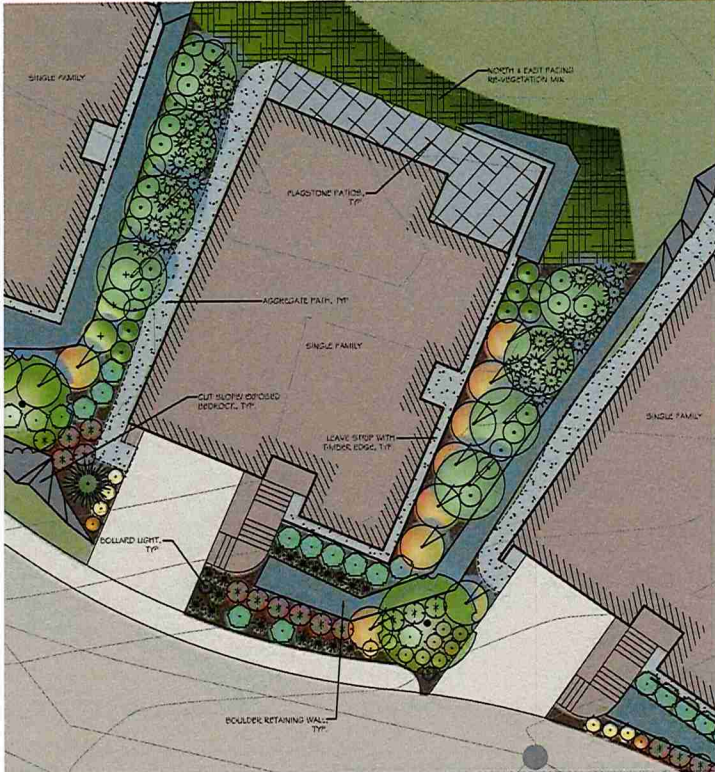
380 Cottle Place
Mödev
Nanaimo, BC

PLANTING PLAN	
Date:	December 7, 2017
Drawn:	GA
Checked:	MS
Scale:	1:250 metric
Project Number:	17-0176
DRAWING NUMBER:	L4 of 7

#	DATE	NOTES
0	24/02/2017	Pre-submission Review
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2	07/02/2017	DP Re-submission

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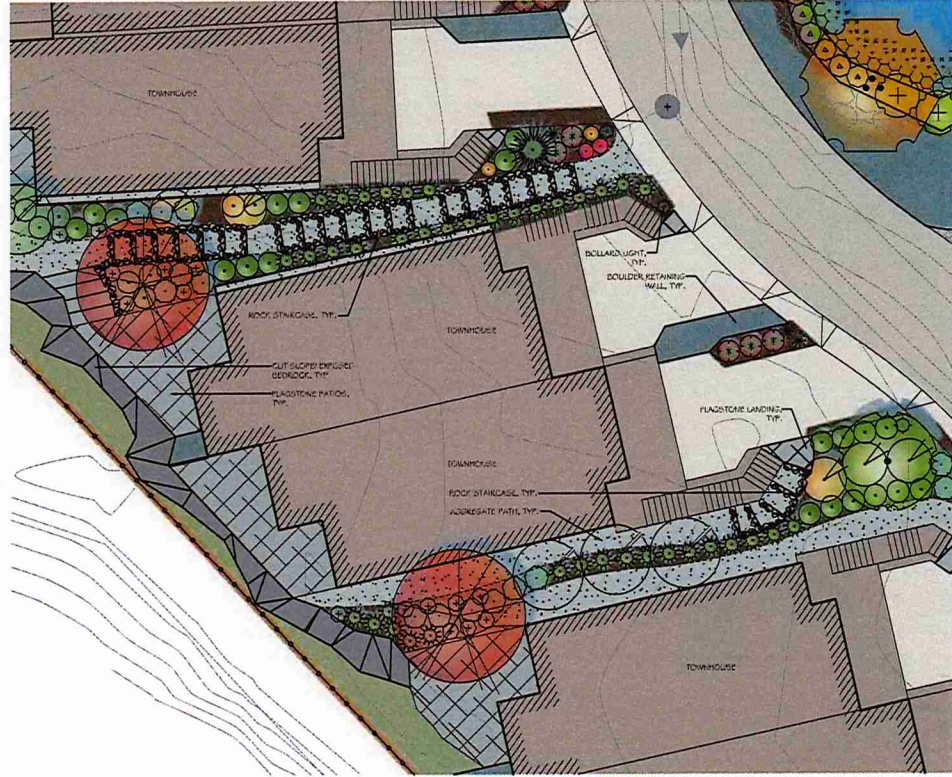
LANDSCAPING DETAILS



Typical Single Family Landscape

1:100 metric

Plan



Typical Duplex Triplex Landscape

1:100 metric

Plan

PLANTING NOTES

1. ALL LANDSCAPE INSTALLATION AND MAINTENANCE SHALL MEET OR EXCEED THE MOST RECENT STANDARDS SET OUT BY THE BRITISH COLUMBIA NURSERY TRADERS ASSOCIATION (BCNTA) / BRITISH COLUMBIA SOCIETY OF LANDSCAPE ARCHITECTS (BCSLA) BC LANDSCAPE STANDARD.
2. ALL TREES SHALL BE PLANTED WITH 300mm OF TOPSOIL OR AMENDED ORGANIC SOILS AROUND AND BELOW ROOTBALL.
3. SOIL DEPTHS: SHRUBS - 300mm
LAWN - 100mm
TREES - 300mm AROUND AND BELOW ROOTBALL
4. MULCH SHALL BE COMPOST PER SECTION 1 TO MULCHING OF THE BCNTA/BCSLA BC LANDSCAPE STANDARD. MULCH DEPTH SHALL BE 75mm MINIMUM OVER ALL TREE AND SHRUB PLANTING AREAS.
5. PLANT MATERIAL QUALITY, TRANSPORT AND HANDLING SHALL COMPLY WITH BCNTA/BCSLA STANDARDS FOR NURSERY STOCK.
6. ALL PLANTING AREAS SHALL BE WATERED VIA AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. IRRIGATION DISTRIBUTION DEVICES SHALL BE LOW VOLTAGE ROTARY NOZZLES OR MIKEY DRIP EQUIPMENT.
7. PLANT QUANTITIES ARE FOR INFORMATION ONLY. IN CASE OF ANY DISCREPANCY THE PLAN SHALL GOVERN.
8. ALL PLANT MATERIALS SHALL MATCH SPECIES AS INDICATED ON THE PLANTING LEGEND.
9. CONTACT THE LANDSCAPE ARCHITECT FOR APPROVAL OF ANY SUBSTITUTIONS. NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
10. CHECK FOR LOCATIONS OF WATER LINES AND OTHER UNDERGROUND SERVICES PRIOR TO DIGGING TREE PITS. EXCAVATED PLANT PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS WHEN FULLY FLOODED WITH WATER SHALL DRAIN WITHIN ONE HOUR AFTER FILLING.
11. NO PLANTS REQUIRING PRUNING OF MAJOR BRANCHES DUE TO DISEASE, DAMAGE OR POOR FORM WILL BE ACCEPTED.
12. ALL CAULPS/O-CROCK TREES SHALL BE 4 x 4 IN WIRE BASKETS.



THIS DRAWING IS NOT FINAL AND SHALL NOT BE USED FOR CONSTRUCTION WORK UNLESS IT HAS BEEN STAMPED AND SIGNED BY THE LANDSCAPE ARCHITECT. THE CLIENT IS TO BE ADVISED OF ANY CHANGES TO THE PROJECT. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY DAMAGE TO THE PROPERTY OR PERSONS OR PROPERTY OF OTHERS ARISING FROM THE USE OF THIS DRAWING.

380 Cottle Place
Mödev
Nanaimo, BC



TYPICAL UNIT LANDSCAPE	
Date:	December 7, 2017
Drawn:	GA
Checked:	MS
Scale:	1:100 metric
Project Number:	17-0176
DRAWING NUMBER:	L5 of 7

#	DATE	REVISIONS / NOTES
0	24/05/2017	Pre-Submission Review
1	24/05/2017	DP Submission
2	07/02/2017	DP Re-submission

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DP 1182
2020-APR-02
Current Planning

PLANT LEGEND

SYMBOL	BOTANICAL / COMMON NAME	SIZE	SPACING	QUANTITY	NOTES
TREES					
	ACER CIRCINATUM VINE MAPLE	#2 POT	SEE PLAN	28	NATIVE SPECIES
	CERCIS CANADENSIS YORKEST PANDY FOREST PANDY EASTERN REDBUD	5cm CAL.	SEE PLAN	6	NATIVE CULTIVAR, STREET TREE
	CHAMAECYPARIS NODATENSIS BLUELE JUBILEE WEeping CEDAR	2.0m HEIGHT	SEE PLAN	5	NATIVE CULTIVAR
	CORYLUS KOLSA SATOMI RED FLOWERING HORSIA DOGWOOD	5cm CAL.	SEE PLAN	8	SPECIMEN TREE
	MAULUS FLUSCA PACIFIC CRAB APPLE	#2 POT	SEE PLAN	3	NATIVE SPECIES
	PICEA ABIES CURPESINA COULMAN'S NORWAY SPRUCE	2.0m HEIGHT	SEE PLAN	8	DROUGHT TOLERANT
	PRUNUS GALEYANA CHANTICLEER REDTIGER FLOWERING PEAR	5cm CAL.	SEE PLAN	8	STREET TREE
SHRUBS					
	AMELANCHIER ALNIFOLIA SASKATOON	#2 POT	2.0m O.C.	25	NATIVE SPECIES
	GAULTHERIA SHALLON SALAL	#1 POT	1.0m C.C.	203	NATIVE SPECIES
	HOLODISCUS DISCOLOR OCEANSPRAY	#2 POT	1.5m O.C.	6	NATIVE SPECIES
	MANTONIA AQUIFOLIUM OREGON GRAPE	#2 POT	1.0m O.C.	124	NATIVE SPECIES
	POLYSTRICHUM MUNITUM SWORDFERN	#1 POT	1.0m O.C.	197	NATIVE SPECIES
	ROSA GYMNOCARPA BALENIF ROSE	#2 POT	1.0m O.C.	120	NATIVE SPECIES
	SAUX SCOULESIANA SCOULE'S WILLOW	#1 POT	2.0m O.C.	10	NATIVE SPECIES
	BAMBUSUS RACEMOSA RED ELDERBERRY	#5 POT	1.5m O.C.	43	NATIVE SPECIES
	SPIRAEA DOUGLASSI HARDHACK	#1 POT	1.0m O.C.	24	NATIVE SPECIES
PERENNIALS & GROUNDCOVERS					
	ACHILLEA MILLEFOLIUM YARROW	#1 POT	0.5m O.C.	26	NATIVE CULTIVAR, 30% YELLOW, 30% RED AND 30% CRANSE
	ARCTOSTAPHYLOS UVA-URSI KINNIFERNICK	#1 POT	1.0m O.C.	290	NATIVE SPECIES, PLANT OVER TOP OF WALL TO CASCADE
	CAREX OBNUPATA STIRPITA SLOUGH / SAWBEAK SEDGE	#1 POT	0.5m O.C.	8	NATIVE SPECIES
	DIGITALIS PURPUREA COMMON FOGGLOVE	#1 POT	1.0m O.C.	27	NATIVE SPECIES
	JUNCUS EFFUSUS COMMON RUSH	#1 POT	0.5m O.C.	42	NATIVE SPECIES
	PENNYCETUM ALOPECUROIDES HAMELYN DWARF FOUNTAIN GRASS	#1 POT	0.5m O.C.	125	DROUGHT TOLERANT
	SCIRPUS MICROCARPUS SMALL FLOWERED BURRUSH	#1 POT	0.5m O.C.	60	NATIVE SPECIES
	LAWN	500		110 sq.m.	

SYMBOL	BOTANICAL / COMMON NAME	SIZE	SPACING	QUANTITY	NOTES
NATIVE SPECIES RE-VEGETATION MIXED (STEEP SLOPES, DISTURBED ROCK OUTCROPS & ROCK WALLS)					
NORTH & EAST FACING					
	DIGITALIS PURPUREA COMMON FOGGLOVE	20cm POT	TBD	25	WHERE THE SUBGRADE DOES NOT ALLOW FOR SOIL VOLUMES AND SPACING INDICATED IN THE PLANT LEGEND AND PLANTING NOTES (E.G. DISTURBED ROCK OUTCROPS, ROCK WALLS AND OBIT SLOPES)
	GAULTHERIA SHALLON SALAL	20cm POT	TBD	25	1. PLANTS SHALL BE INSTALLED IN CRACKS, HOLES AND GAPS FILLED WITH INFORTKED GROWING MEDIUM WHERE FEASIBLE
	LONICERA OLIGOSA WESTERN TRIUMPET HONEYSUCKLE	#1 POT	TBD	23	2. IRRIGATION WILL NOT BE REQUIRED IN THESE AREAS.
	MANTONIA NERVOSA LONGLEAF OREGON GRAPE	#1 POT	TBD	25	3. QUANTITIES ARE BASED ON 25% SUITABLE PLANTING AREAS AT 1.0m SPACING
	MIMULUS GUTTATUS YELLOW MONKEY-FLOWER	#1 POT	TBD	25	
	POLYSTRICHUM MUNITUM SWORDFERN	#1 POT	TBD	25	
SOUTH & WEST FACING					
	ACHILLEA MILLEFOLIUM YARROW	20cm POT	TBD	15	
	EROGONIA HYACINTHINA FOOL'S ONION	10cm POT	TBD	15	
	HOLODISCUS DISCOLOR OCEANSPRAY	#1 POT	TBD	15	
	LONICERA HISPIDULA HAIRY HONEYSUCKLE	#1 POT	TBD	15	
	MANTONIA AQUIFOLIUM OREGON GRAPE	#1 POT	TBD	15	
	MONTIA PARVIFOLIA SMALL-LEAVED MONTIA	20cm POT	TBD	15	
	ROSA GYMNOCARPA BALENIF ROSE	#1 POT	TBD	15	
	SEDUM SPATHULIFOLIUM BROAD-LEAVED STONECROP	20cm POT	TBD	15	
LOWER (SOUTHERN) POND					
	CAREX OBNUPATA STIRPITA SLOUGH / SAWBEAK SEDGE	#1 POT	TBD	1	
	JUNCUS EFFUSUS COMMON RUSH	#1 POT	TBD	1	
	MIMULUS GUTTATUS YELLOW MONKEY-FLOWER	#1 POT	TBD	1	
	SAUX SCOULESIANA SCOULE'S WILLOW	#1 POT	TBD	1	
	SCIRPUS MICROCARPUS SMALL FLOWERED BURRUSH	#1 POT	TBD	1	
	SPIRAEA DOUGLASSI HARDHACK	#1 POT	TBD	1	
SWALE PLANTING					
	CAREX OBNUPATA STIRPITA SLOUGH / SAWBEAK SEDGE	#1 POT	0.5m O.C.	95	CENTRELINE OF SWALE
	JUNCUS EFFUSUS COMMON RUSH	#1 POT	0.5m O.C.	190	SIDE SLOPES OF SWALE
	SCIRPUS MICROCARPUS SMALL FLOWERED BURRUSH	#1 POT	0.5m O.C.	190	BOTTOM CORNERS OF SWALE
	EXISTING TREE RETENTION, PLANTING, SLOPES AND ROCK OUTCROPS TO REMAIN			4,889sq.m2	

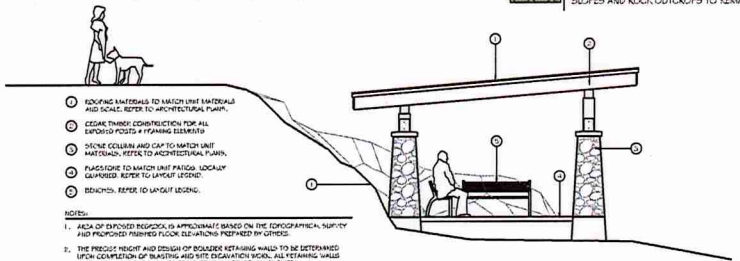


THIS DOCUMENT IS NOT FINAL AND SHALL NOT BE USED FOR CONSTRUCTION UNLESS NOTED. IT HAS BEEN ISSUED AND SIGNED BY THE LANDSCAPE ARCHITECT.

ALL INFORMATION IS TO BE USED AS A GUIDE AND NOT A CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

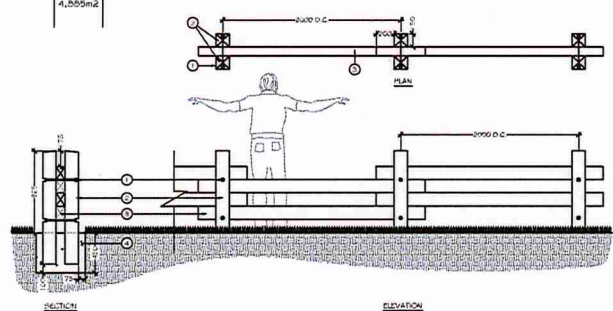
380 Cottle Place
Nanaimo, BC

PLANTING LEGEND & DETAILS
 Date: December 7, 2017
 Drawn by: [Name]
 Scale: AS NOTED
 Project Number: P-2017-01
 Drawing Number: L6 of 7



A Pavillion
 Section Elevation
 1:50 metric

NOTES:
 1. AREA OF EXPOSED ROCKS IS APPROXIMATELY BASED ON THE TOPOGRAPHICAL SURVEY AND PHOTOGRAPHS TAKEN FROM OBSERVATIONS MADE BY OFFICE.
 2. THE PRECISE HEIGHT AND DESIGN OF BOLLARD RETAINING WALLS TO BE DETERMINED UPON COMPLETION OF PLANTING AND SITE EVALUATION WORK. ALL RETAINING WALLS OVER 1.0m IN HEIGHT SHALL BE DESIGNED BY A STRUCTURAL ENGINEER.
 3. THE PRECISE NUMBER AND LOCATION OF ROCK STAIRCASES TO BE DETERMINED BY THE FIELD UPON COMPLETION OF PLANTING AND SITE EVALUATION WORK.



B Split Rail Fence
 Plan Section Elevation
 1:25 metric

- 1 19mm GALVANIZED BOLT (W/ 27mm WASHERS PER TUB), NEEDED: NUMBER EQUAL TO 1800 POSTS, TYPICAL OF L2 PLACED PER POST
- 2 100 x 150 x 150mm (6.0 x 6.0 x 6.0) SPLIT RAIL POSTS
- 3 100 x 150mm (4 x 6) SPLIT RAIL POSTS
- 4 100 x 150mm (4 x 6) SPLIT RAIL POSTS
- 5 100 x 150mm (4 x 6) SPLIT RAIL POSTS

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 DP1182
 2020-APR-02
 Current Planning

